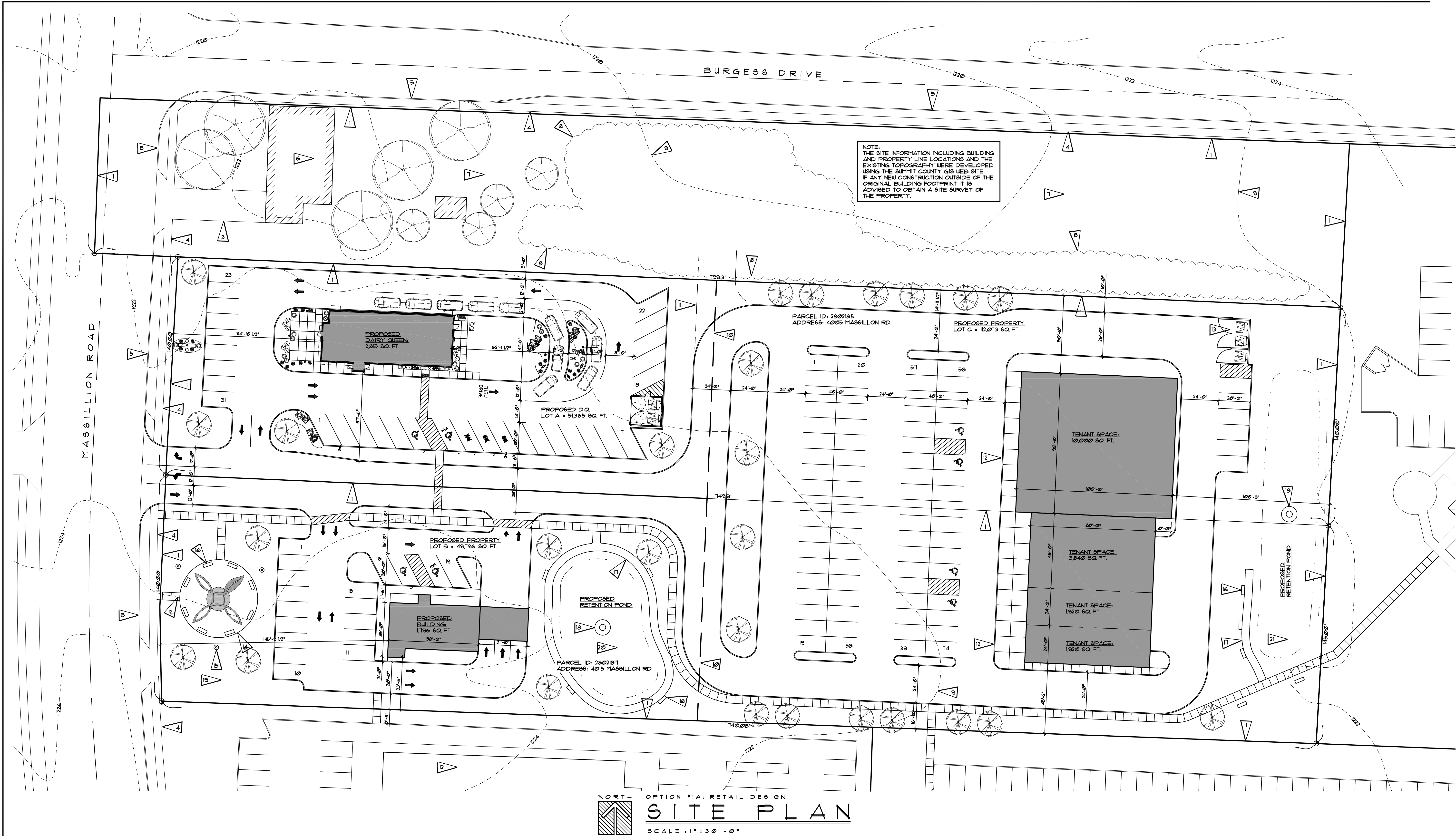


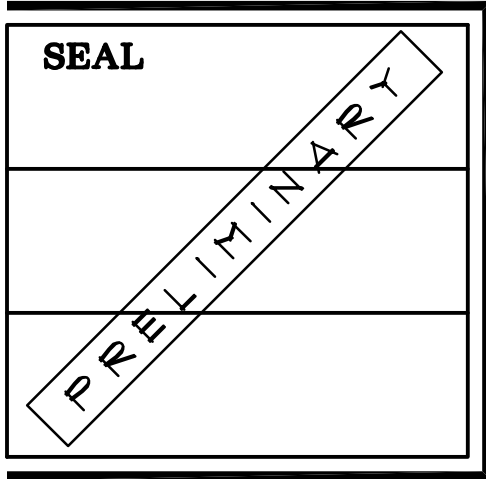


FLAG NOTES:			
1	EXISTING PROPERTY LINE	10	PROPOSED PROPERTY LINE
2	APPROXIMATE EDGE OF EXISTING PAVEMENT	11	FUTURE ACCESS DRIVE TO BURGESS SHOWN DASHED
3	APPROXIMATE EDGE OF EXISTING CONCRETE	12	NEW CONCRETE WALKS
4	EXISTING CONCRETE SIDEWALK	13	PROPOSED DUMPSTER ENCLOSURES
5	EXISTING CONCRETE CURB	14	50'-0" OUTDOOR PATIO WITH CITY OF GREEN LOGO
6	EXISTING RESIDENCE	15	NEW FLAGPOLES, TYPICAL OF 3
7	EXISTING GRASS AREA	16	NEW BENCH
8	APPROXIMATE EDGE OF WOODEN AREA	17	NEW COMPACTED GRAVEL PATH
9	APPROXIMATE LOCATION EXISTING TOPOGRAPHY	18	NEW FOUNTAIN IN PROPOSED RETENTION POND

PARKING NOTES:	
LOT A - PARKING REQUIREMENTS: RESTAURANTS USES: 15 SPACES PER 1000 SQ. FT. OR 1 SPACE FOR EACH 4 SEATS, WHICHEVER IS GREATER 2,815 SQ. FT. (LESS 28%) = 2,346 SQ. FT. 2,346 / 1000 = 2.346 X 15 = 35.19/35 SPACES LOT B - PARKING REQUIREMENTS: RETAIL AND SERVICE COMMERCIAL USES: 4 SPACES PER 1000 SQ. FT. 1,796 SQ. FT. (PROPOSED BLDG.) 1,796 / 1000 = 1.796 X 4 = (7.2) 8 SPACES. LOT C - PARKING REQUIREMENTS: RETAIL AND SERVICE COMMERCIAL USES: 4 SPACES PER 1000 SQ. FT. 17,680 SQ. FT. (PROPOSED BLDG.) 17,680 / 1000 = 18 X 4 = 72 SPACES. 17,680 / 80% = 14,144 SQ. FT. (20% FOR STORAGE) 14,144 / 1000 = 14 X 4 = 56 SPACES	

ZONING NOTES:	
PARCEL ID: SITE AREA (ACRES) = ZONING DISTRICT: PD - PLANNED DEVELOPMENT 15115 NONRESIDENTIAL AND MIXED USE DEVELOPMENT STANDARDS (1) PROJECT AREA AND OPEN SPACE: THE GROSS PROJECT AREA OF LAND PROPOSED TO BE DEVELOPED IN A NONRESIDENTIAL PD DISTRICT (I.E. ALL COMMERCIAL USES PROPOSED) SHALL BE THREE ACRES. THE OPEN SPACE REQUIRED SHALL BE 15% OF THE GROSS PROJECT AREA. (2) HEIGHT AND SETBACK REQUIREMENTS: (A) NONRESIDENTIAL BUILDINGS AND MIXED USE BUILDINGS SHALL NOT EXCEED 80 FEET IN OVERALL HEIGHT. (B) UNLESS OTHERWISE SPECIFIED IN THIS CHARTER, BUILDING SETBACKS SHALL BE ESTABLISHED AS PART OF THE PLANNED DEVELOPMENT REVIEW PROCESS.	

OPEN AREA:	
A MINIMUM OF 25% OF THE REQUIRED OPEN SPACE SHALL BE RESERVED FOR ACTIVE RECREATIONAL USES WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, POOLS, PLAYGROUNDS, TENNIS COURTS, JOGGING/WALKING TRAILS, COMMUNITY CENTERS, IMPROVED PONDS, PUBLIC PLAZAS (THAT MAY SERVE AS GATHERING PLACES FOR RESIDENTS) OR OTHER IMPROVED AREA THAT MAY BE USED BY THE PUBLIC AS APPROVED BY THE PZC. LOT A: 48,495 SQ. FT. X 25% = 12,124 SQ. FT. REQ'D OPEN SPACE TOTAL GREEN SPACE = 10,173 SQ. FT. LOT B: 43,843 SQ. FT. X 25% = 10,961 SQ. FT. REQ'D OPEN SPACE TOTAL GREEN SPACE = 22,121 SQ. FT. PROPOSED RETENTION BASIN = 4,711 SQ. FT. OUTDOOR PATIO AREA = 4,711 SQ. FT. TOTAL = 17,310 SQ. FT. (EXCLUDING BASIN & PATIO) LOT C: 112,128 SQ. FT. X 25% = 28,032 SQ. FT. REQ'D OPEN SPACE TOTAL GREEN SPACE = 34,106 SQ. FT. PROPOSED RETENTION BASIN = 6,013 SQ. FT. TOTAL = 28,093 SQ. FT. (EXCLUDING BASIN)	



David Pelligra Architects, Inc.

ARCHITECTURE • CONSULTING

2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223

REVISIONS

DATE

04.10.2025

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PROJECT

SITE STUDY FOR:

DAIRY QUEEN

4005 & 4015 MASSILLON RD, GREEN, OH

DRAWING

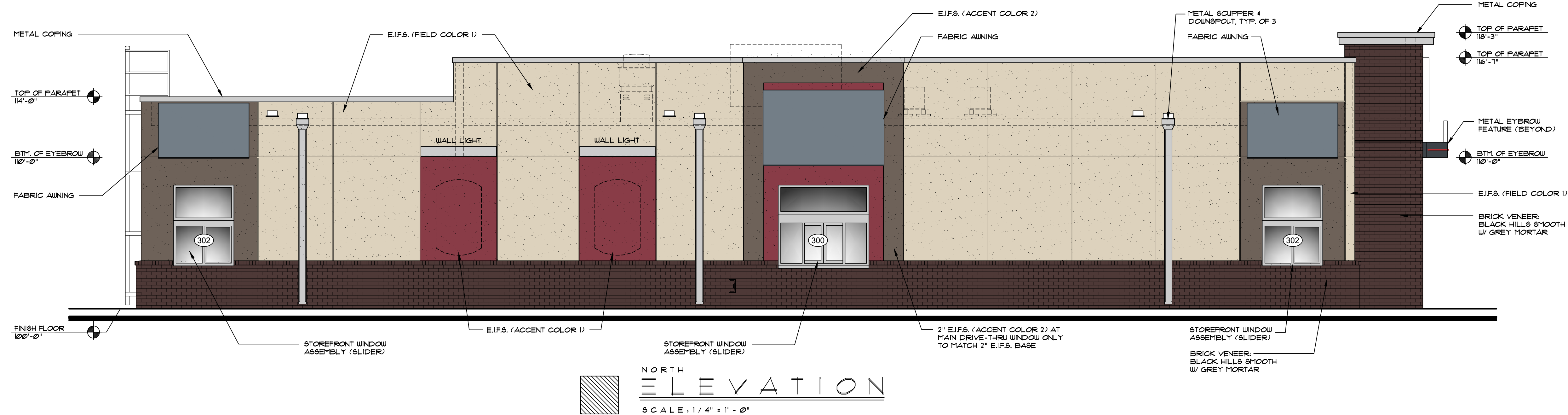
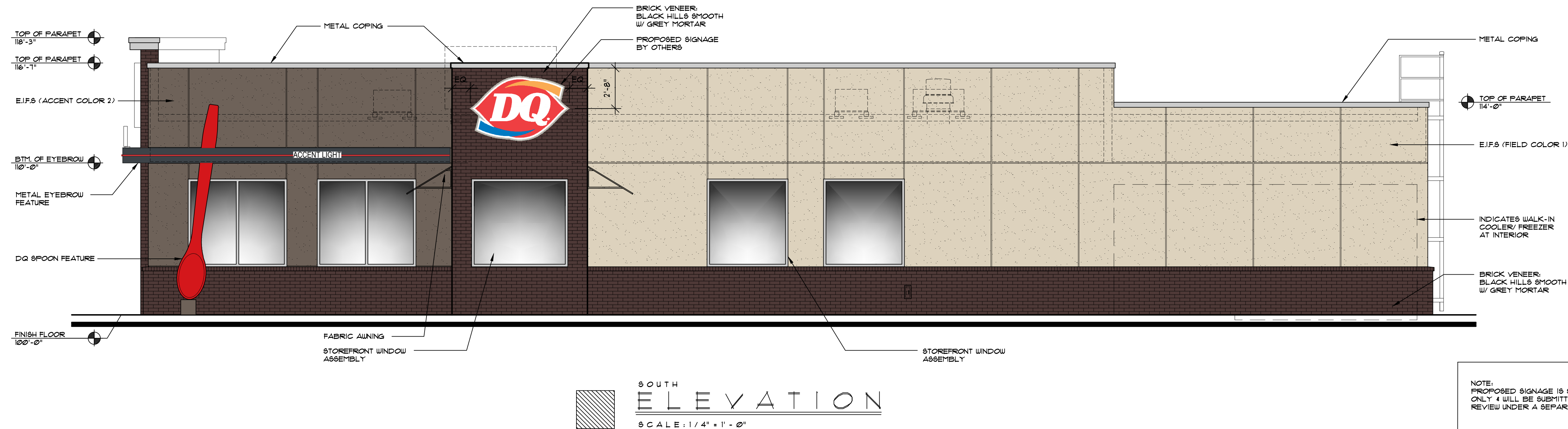
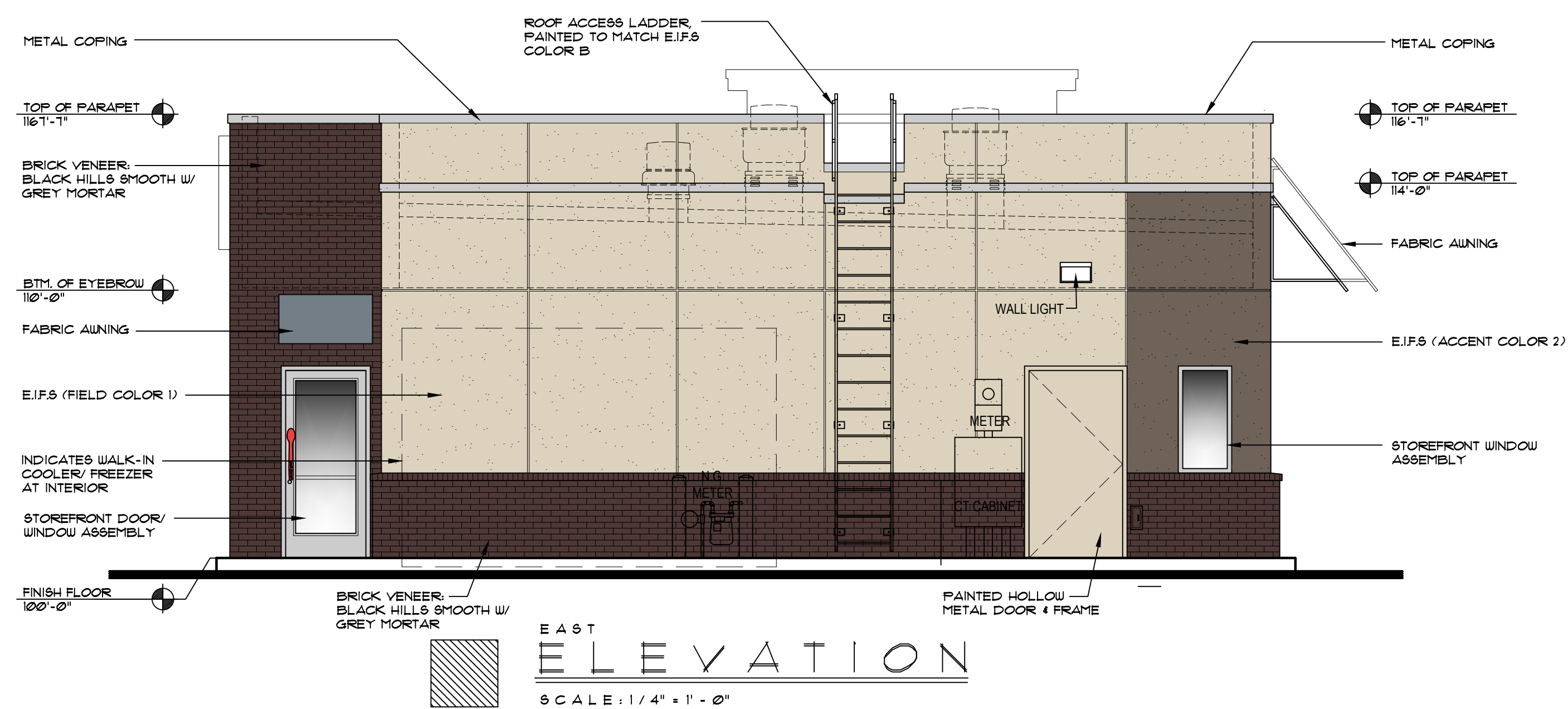
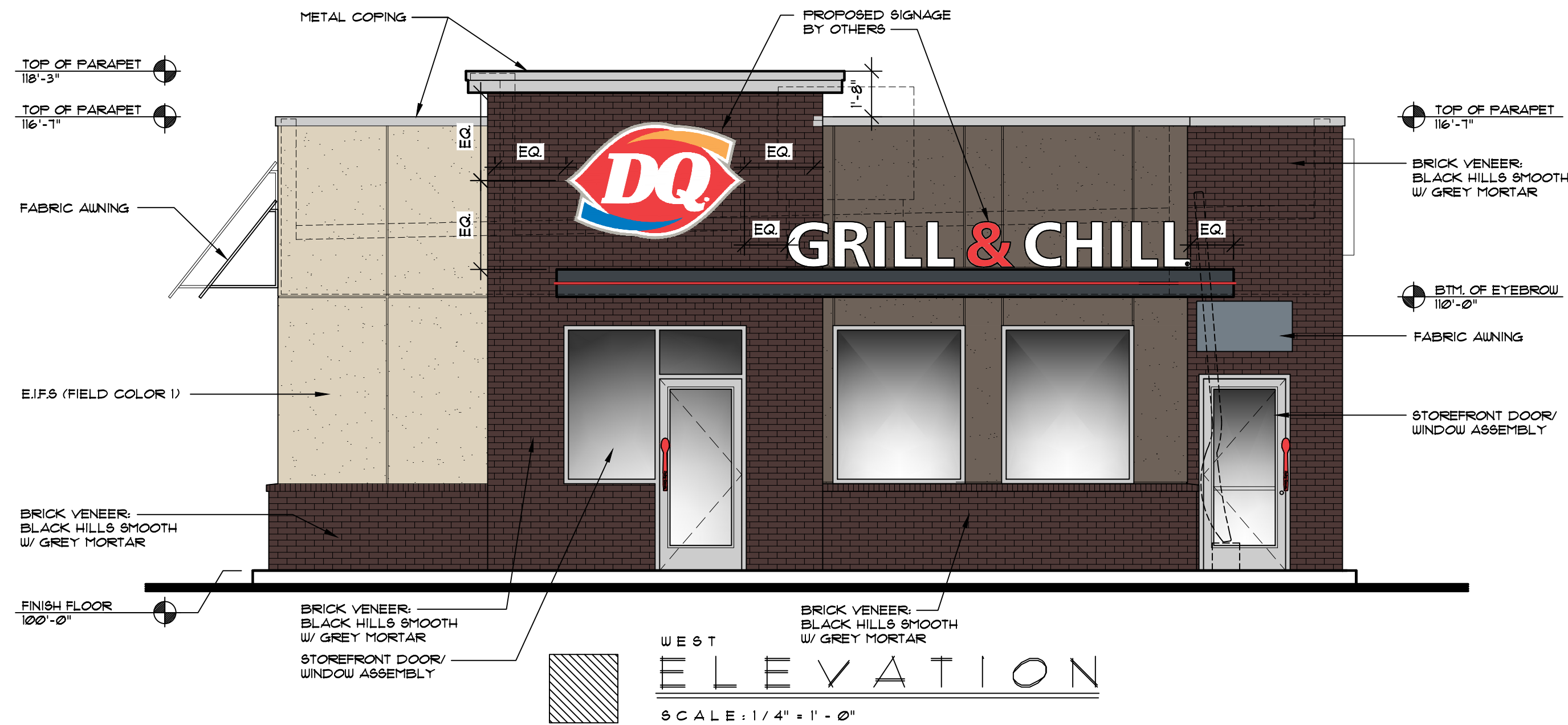
CONCEPT SITE PLAN NO. 1A

PROJECT NO.

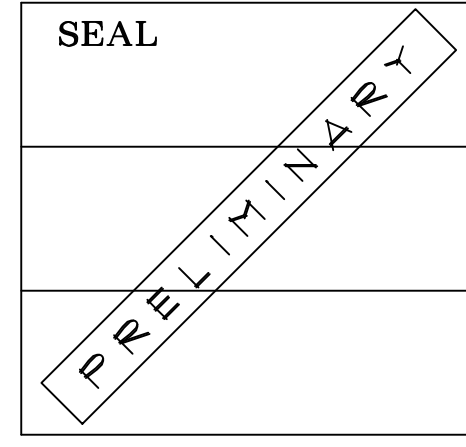
2487

SHEET NO.

C-1



NOTE:
PROPOSED SIGNAGE IS SHOWN FOR REFERENCE
ONLY. IT WILL BE SUBMITTED TO THE CITY FOR
REVIEW UNDER A SEPARATE SUBMISSION.

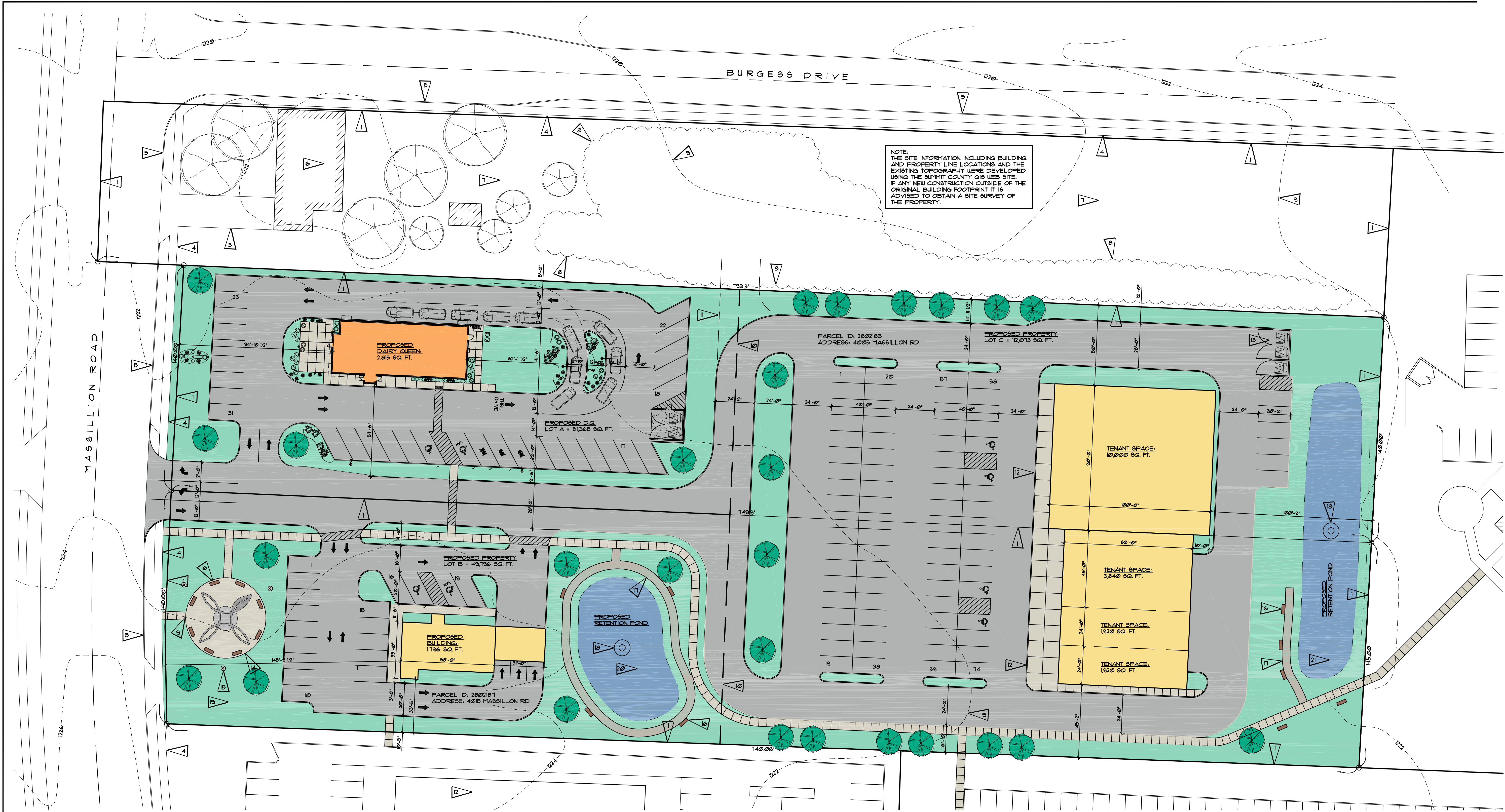


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DATE 03.14.2025
REVISIONS

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PROJECT
NEW BUILDING FOR:
DAIRY QUEEN GRILL & CHILL
4005 & 4015 MASSILLON RD, GREEN, OH
DRAWING
EXTERIOR ELEVATIONS

PROJECT NO.
2487
SHEET NO.
A-3.1



NOTE:
THE SITE INFORMATION INCLUDING BUILDING
AND PROPERTY LINE LOCATIONS AND THE
EXISTING TOPOGRAPHY WERE DEVELOPED
USING THE SUMMIT COUNTY GIS WEB SITE.
IF ANY NEW CONSTRUCTION OUTSIDE OF THE
ORIGINAL BUILDING FOOTPRINT IT IS
ADVISED TO OBTAIN A SITE SURVEY OF
THE PROPERTY.

NORTH
OPTION #1A: RETAIL DESIGN
SITE PLAN
SCALE: 1" = 30' - 0"

FLAG NOTES:					
1	EXISTING PROPERTY LINE	10	PROPOSED PROPERTY LINE	19	PROPOSED OPEN SPACE: 9,961 SQ. FT. OR 2286 ACRE
2	APPROXIMATE EDGE OF EXISTING PAVEMENT	11	FUTURE ACCESS DRIVE TO BURGESS SHOWN DASHED	20	PROPOSED OPEN SPACE: 12,932 SQ. FT. OR 2969 ACRE
3	APPROXIMATE EDGE OF EXISTING CONCRETE	12	NEW CONCRETE WALKS	21	PROPOSED OPEN SPACE: 18,309 square ft. SQ. FT. OR 4203 ACRE
4	EXISTING CONCRETE SIDEWALK	13	PROPOSED DUMPSTER ENCLOSURES		
5	EXISTING CONCRETE CURB	14	50'-0" OUTDOOR PATIO WITH CITY OF GREEN LOGO		
6	EXISTING RESIDENCE	15	NEW FLAGPOLES, TYPICAL OF 3		
7	EXISTING GRASS AREA	16	NEW BENCH		
8	APPROXIMATE EDGE OF WOODEN AREA	17	NEW COMPACTED GRAVEL PATH		
9	APPROXIMATE LOCATION EXISTING TOPOGRAPHY	18	NEW FOUNTAIN IN PROPOSED RETENTION POND		

PARKING NOTES:	
LOT A - PARKING REQUIREMENTS: RESTAURANTS USES: 15 SPACES PER 1000 SQ. FT. OR 1 SPACE FOR EACH 4 SEATS, WHICHEVER IS GREATER 2,815 SQ. FT. (LESS 28%) = 2,346 SQ. FT. 2,346 / 1000 = 2.346 X 15 = (35.19) 35 SPACES	
LOT B - PARKING REQUIREMENTS: RETAIL AND SERVICE COMMERCIAL USES: 4 SPACES PER 1000 SQ. FT. 1,796 SQ. FT. (PROPOSED BLDG) 1,796 / 1000 = 1.796 X 4 = (7.18) 8 SPACES.	
LOT C - PARKING REQUIREMENTS: RETAIL AND SERVICE COMMERCIAL USES: 4 SPACES PER 1000 SQ. FT. 17,680 SQ. FT. (PROPOSED BLDG) 17,680 / 1000 = 18 X 4 = 72 SPACES.	
17,680 / 80% = 14,144 SQ. FT. (20% FOR STORAGE) 14,144 / 1000 = 14 X 4 = 56 SPACES	

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SEAL
PRELIMINARY

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2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223	REVISIONS	04.10.2025

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out proper
written
authorization.

PROJECT	SITE STUDY FOR:
DAIRY QUEEN	4005 & 4015 MASSILLON RD, GREEN, OH
DRAWING	CONCEPT SITE PLAN NO. 1A

PROJECT NO.	2487
SHEET NO.	C-1